



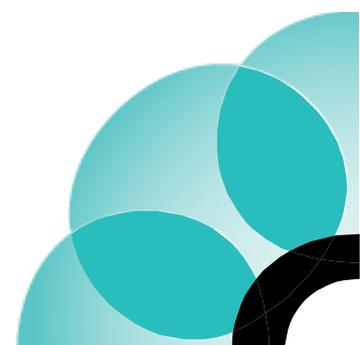
Basic Conditions Statement
Exmouth Neighbourhood Plan
2018-2031

On behalf

Exmouth Neighbourhood Plan Steering Group July 2018

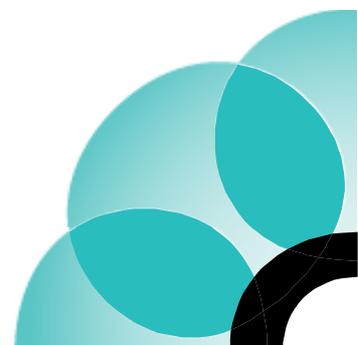
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1. Introduction

Situ8 Ltd have been instructed to act on behalf of Exmouth Neighbourhood Plan Steering Group, to write a Basic Conditions Statement for Exmouth Neighbourhood Plan 2018 -2031.



2. Legal Requirements

2.1 Qualifying Body

A 'Qualifying Body' is defined by Section 38A(12) of the Town and Country Planning Act 1990 as amended by Schedule 9 of the Localism Act¹ "as a Town or Parish Council, or an organisation or body designated as a neighbourhood forum, authorised for the purposes of a neighbourhood development plan to act in relation to a neighbourhood area...".

Section 38A(1) of the Town and Country Planning Act 1990 as amended by Schedule 9 of the Localism Acts² sets out the qualifying body's entitlement to prepare a Neighbourhood Plan. It states that:

"(1) Any qualifying body is entitled to initiate a process for the purpose of requiring a local planning authority in England to make a neighbourhood development plan."

We confirm that the Neighbourhood Plan has been prepared by Exmouth Town Council as the "qualifying body" for the purposes of Neighbourhood Planning.

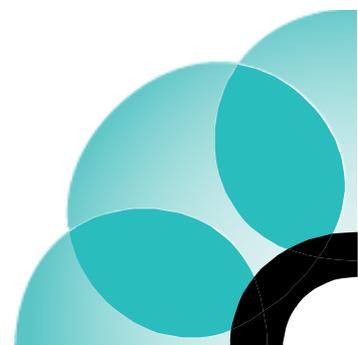
The development of the Plan and management of the process has been delivered by the Neighbourhood Plan Steering Group formed in October 2015 comprised of members of Exmouth community and town councillors including representatives from:

Exmouth Community Association, Exmouth Civic Society, Transition Exmouth, Christians Together in Exmouth (CTE) and Exmouth Chamber of Commerce;

One Councillor from each of Exmouth's five Wards;

¹ See <http://www.legislation.gov.uk/ukpga/2011/20/schedule/9/enacted>

² See <http://www.legislation.gov.uk/ukpga/2011/20/schedule/9/enacted>



A Planning Expert, the Town Clerk, the Project Administrator and EDDC's Councillor for Neighbourhood Planning.

2.2 Neighbourhood Area

The Neighbourhood Area (as shown in Figure 1 on page 5) was applied for and approved on June 30th 2015 through the process set out in the Neighbourhood Planning (General) Regulations 2012 (Regulations 5 to 7)³ the application and the approval / decision notice are available here [Neighbourhood Area Designation](#).

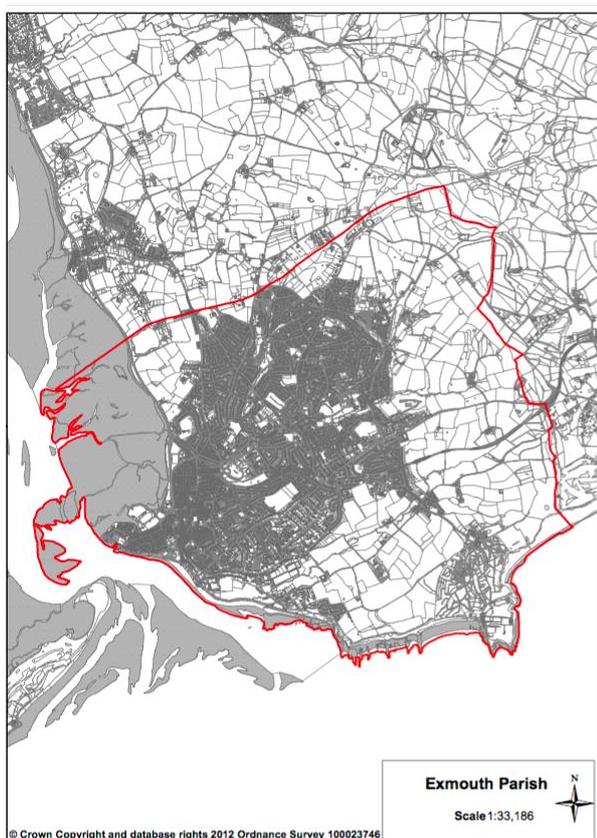
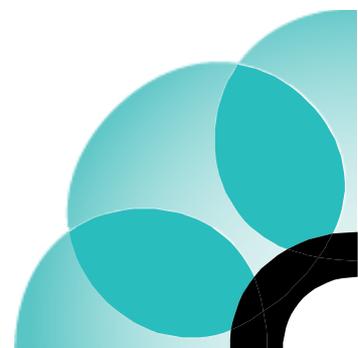


Figure 1 – Designated Neighbourhood Area.

³ See <http://www.legislation.gov.uk/ukxi/2012/637/regulation/5/made>



2.3 What a Neighbourhood Plan is and the content of a Neighbourhood Plan.

Section 38A(2) of the Town and Country Planning Act 1990 as amended by Schedule 9 of the Localism Act⁴ sets out the meaning of “neighbourhood development plan”. It states that:

“(2) A “neighbourhood development plan” is a plan which sets out policies (however expressed) in relation to the development and use of land in the whole or any part of a particular neighbourhood area specified in the plan.”

Section 38B(1) of the Town and Country Planning Act 1990 as amended by Schedule 9 of the Localism Act⁵ sets out what the Plan may include. It states that:

“(1) A neighbourhood development plan—

(a) must specify the period for which it is to have effect,(b) may not include provision about development that is excluded development, and(c) may not relate to more than one neighbourhood area.”

‘Excluded development’ is defined in Section 68K of the Town and Country Planning Act 1990 as amended by Schedule 9 of the Localism Act⁶:

“(a) development that consists of a county matter within paragraph 1(1)(a) to (h) of Schedule 1, (b) development that consists of the carrying out of any operation, or class of operation, prescribed under paragraph 1(j) of that Schedule (waste development) but that does not consist of development of a prescribed description, (c) development that falls within Annex 1 to Council Directive 85/337/EEC on the assessment of the effects of certain public and private projects on the

⁴ See <http://www.legislation.gov.uk/ukpga/2011/20/schedule/9/enacted>

⁵ See <http://www.legislation.gov.uk/ukpga/2011/20/schedule/9/enacted>

⁶ See <http://www.legislation.gov.uk/ukpga/2011/20/schedule/9/enacted>



environment (as amended from time to time),
(d) development that consists (whether wholly or partly) of a nationally significant infrastructure project (within the meaning of the Planning Act 2008),
(e) prescribed development or development of a prescribed description, and
(f) development in a prescribed area or an area of a prescribed description.”

Section 38B(2)⁷states that:

“(2) Only one neighbourhood development plan may be made for each neighbourhood area.”

In response to these requirements, we confirm that the Exmouth Neighbourhood Plan:

- covers the period up to 2031, aligning with the plan period of the East Devon Local Plan 2013-2031; and
- is the only Neighbourhood Plan for the parished area of Exmouth; and
- does not contain policies relating to “excluded development”; and
- relates only to the designated Neighbourhood Area in figure 1 above; and
- sets out policies in relation to the development and use of land.

Given the importance of some of the issues and non-planning matters expressed by Exmouth community during consultation and the cross-cutting nature of some of these issues with planning and land-use matters, the Neighbourhood Plan also refers to Community Actions which will address community issues outside of the remit of the Neighbourhood Plan. Importantly, these will join up and link the planning system with important other issues which relate to people, services, projects or how they live in their community.

⁷ See <http://www.legislation.gov.uk/ukpga/2011/20/schedule/9/enacted>



2.4 What are the Basic Conditions and why do we need this Statement?

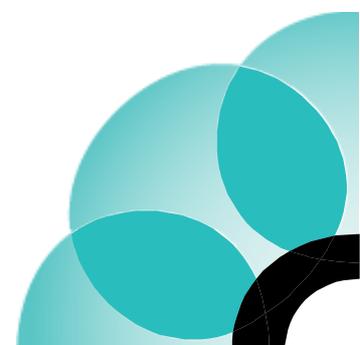
The “Basic Conditions” are a set of conditions that the Neighbourhood Plan must meet in order for it to proceed to referendum. In relation to neighbourhood plans, the Plan will meet the basic conditions if:

- having regard to national policies and advice contained in guidance issued by the Secretary of State, it is appropriate to make the plan;
- the making of the plan contributes to the achievement of sustainable development;
- the making of the plan is in general conformity with the strategic policies contained in the development plan for the area of the authority (or any part of that area);
- the making of the plan does not breach, and is otherwise compatible with, EU obligations; and,
- prescribed conditions are met in relation to the plan order and prescribed matters have been complied with in connection with the proposal for the plan.

These requirements (and those for neighbourhood development orders) are formally set out in paragraph 8(2) of Schedule 4B to the Town and Country Planning Act 1990 Act (as amended by the Localism Act 2011).⁸

This Basic Conditions Statement is submitted alongside the draft Neighbourhood Plan. In submitting the Statement and, through its content, demonstrating how Exmouth Neighbourhood Plan meets the Basic Conditions, we have satisfied one of the requirements of Regulation 15 (1) of

⁸ See <http://www.legislation.gov.uk/ukpga/2011/20/schedule/10/enacted> They are also set out in the National Planning Practice Guidance at <http://planningguidance.planningportal.gov.uk/blog/guidance/neighbourhood-planning/the-basic-conditions-that-a-draft-neighbourhood-plan-or-order-must-meet-if-it-is-to-proceed-to-referendum/>



the Neighbourhood Planning (General) Regulations 2012. This Regulation sets out what the Town Council, as the “qualifying body” responsible for producing the Plan, must submit as part of the neighbourhood development plan proposal. These are submitted alongside this Statement. Regulation 15 (1)⁹ states that:

“(1) Where a qualifying body submits a plan proposal to the local planning authority, it must include:

- a) a map or statement which identifies the area to which the proposed neighbourhood development plan relates;
- b) a consultation statement;
- c) the proposed neighbourhood development plan; and
- d) a statement explaining how the proposed neighbourhood development plan meets the requirements of paragraph 8 of Schedule 4B to the 1990 Act.” (i.e. this Statement).

The Statement that follows sets out:

a summary of why there is a need for a Neighbourhood Plan; and,
an explanation of how the Neighbourhood Plan meets the Basic Conditions.

3. Why there is a need for a Neighbourhood Plan?

The justification for producing the Neighbourhood Plan is set out in the introductory sections of the of the Submission Version (of the Plan), culminating in the vision and objectives which have been developed and shaped from evidence and community consultation.

⁹ See <http://www.legislation.gov.uk/uksi/2012/637/regulation/15/made>

The Neighbourhood Plan has its roots in years of discussion about town planning issues and opportunities important to the community and the notion of creating a community plan for Exmouth- which would strengthen community cohesion. The Town Council commenced preparation of the Neighbourhood Plan in 2015, establishing a Neighbourhood Plan Steering Group to undertake the required task of producing a Neighbourhood Plan.

Extensive engagement and consultation with stakeholders, local organisations, businesses, landowners and residents commenced in April 2016. As well as written and email consultations e.g. survey “Shape the Future”, face to face meetings were arranged, and a number of public consultation events were held e.g. a public consultation event attended by just under 400 people in September 2017. (The full extent of community consultation for the Neighbourhood Plan is recorded within the Consultation Statement, submitted alongside this document.)

The resultant Vision for Exmouth Neighbourhood Plan states:

“Exmouth aims to be a friendly, welcoming, safe, clean and vibrant town, protecting its environment and building on its traditional seaside heritage with an aspiration to be forward thinking – a great place for all, young and old, to live, work and visit.”

Having explored the issues and identified the key messages and things of importance to the community, the following development themes were adopted to realise the vision and which underpin the Exmouth Neighbourhood Plan:

Natural Environment;

Built Environment;

Economy and Employment Housing;

Getting About; and

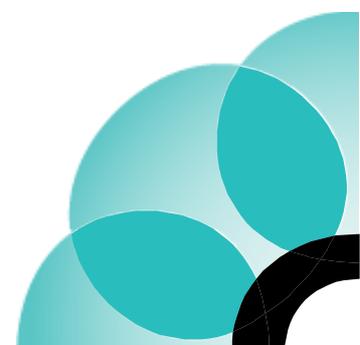
Community Facilities.

These themes were converted through dialogue and consultation into a set of objectives for the Exmouth Neighbourhood Plan from which the Steering Group have been able to develop

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01726 67591 enquiries@situ8.co.uk www.situ8.co.uk



neighbourhood planning policies for the 'parish area' of Exmouth where they have concluded that they are necessary to compliment and supplement the NPPF and East Devon Local Plan.

4. Having regard to National Planning Policy and Guidance issued by the Secretary of State

In July 2018 the Ministry of Housing, Communities and Local Government published the Government's revised planning policies for England. The revised National Planning Policy Framework (NPPF) 2018 provides for transitional arrangements as follows:

"214. The policies in the previous Framework will apply for the purpose of examining plans, where those plans are submitted (69) on or before 24 January 2019. Where such plans are withdrawn or otherwise do not proceed to become part of the development plan, the policies contained in this Framework will apply to any subsequent plan produced for the area concerned.

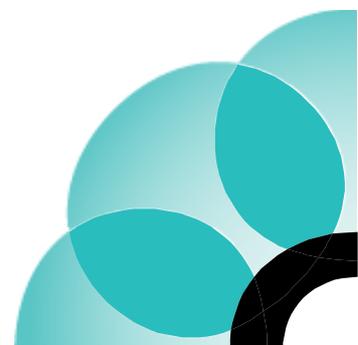
(69) For neighbourhood plans, 'submission' in this context means where a qualifying body submits a plan proposal to the local planning authority in accordance with regulation 15 of the Neighbourhood Planning (General) Regulations 2012.

(22) During the transitional period for emerging plans submitted for examination (set out in paragraph 214), consistency should be tested against the previous Framework published in March 2012."

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Accordingly, the Neighbourhood Plan has been prepared having regard to national policies in particular those set out in the NPPF of April 2012. Regard has also been had to the National Planning Practice Guidance (NPPG) published by the Government in April 2014 in relation to the formulation of Neighbourhood Development Plans.

In particular, there are five NPPF paragraphs that provide general guidance on neighbourhood planning, to which the Neighbourhood Plan has directly responded:

Paragraph 16 -The Town Council considers that the Neighbourhood Plan will positively support local development, shaping and directing development in the Parish. The Neighbourhood Plan seeks to plan positively for economic growth and seeks to enhance leisure and community assets, for the benefit of the community.

Paragraph 17- Overall, the Neighbourhood Plan has been positively framed, from its vision through to its policies, aiding the practical consideration of planning applications. The Neighbourhood Plan Steering Group also commissioned advice from the independent charity Devon Communities Together, to ensure the methodical and considered approach to consultation and analysis of evidence.

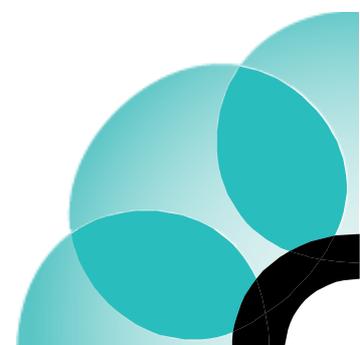
The policies contained in the Neighbourhood Plan take fully into account the **12 core planning principles**. In particular, the **first** (empowering local people to shape their own surroundings); local consultation has provided the community with the opportunity to engage with the process of developing the Plan. The **fourth** (seeking high quality design and a good standard of amenity); the plan seeks to encourage homes and development which is of a high standard of design. The **sixth** (taking full account of flood risk and coastal change, and encouraging development of renewable energy; the plan endorses healthy, sustainable living in a green energy efficient environment.

Paragraph 183 - The Town Council considers that the Neighbourhood Plan establishes a Vision for the Parish that reflects the views of the majority of the local community.

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Paragraph 184 – The Town Council considers that the Neighbourhood Plan is in general conformity with the strategic policies of East Devon Local Plan 2013-2031 and will not undermine strategic policies.

Paragraph 185 – The Neighbourhood Plan avoids duplicating development plan policies by focusing on specific policies that relate directly to the Parish. Once ‘made’ the Neighbourhood Plan can be readily considered alongside the main development plan and any other material considerations in determining planning applications.

More specifically, the table below sets out each policy and the relevant provisions of the NPPF 2012. The particular paragraphs in the NPPF referred to in the table are those considered to be the most relevant to each such policy but are not intended to be an exhaustive list of all possible references in the NPPF.

5. Contribution to the Achievement of Sustainable Development

There is no specific legal requirement within the Neighbourhood Development Plan Regulations 2012 for Neighbourhood Plans to undertake their own Sustainability Appraisal (SA) and in this instance one has not been prepared following a screening opinion from East Devon District Council Feb 2018 (See Appendix 1)

However, the Neighbourhood Plan has been prepared with the sustainability issues affecting the Parish being a central consideration. The Exmouth Neighbourhood Plan contributes strongly to the achievement of sustainable development as can be seen in the table below.

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Paragraphs 6-10 of the NPPF outline the Government’s definition of sustainable development.

The UK Government’s interpretation of the concept of sustainable development builds on that of the UN resolution 24/187, which is ‘meeting the needs of the present without compromising the ability of future generations to meet their own needs.’

The NPPF amplifies this simple definition, at paragraph 7, stating that sustainable development has three dimensions, economic, social and environmental. Planning needs to perform a number of roles in relation to these issues:

“an economic role - contributing to building a strong, responsive and competitive economy, by ensuring that sufficient land of the right type is available in the right places at the right time to support growth and innovation; and by identifying and coordinating development requirements, including the provision of infrastructure;

a social role - supporting strong, vibrant and healthy communities, by providing the supply of housing required to meet the needs of the present and future generations; and by creating a high quality built environment, with accessible local services that reflect the community’s needs and support its health, social and cultural well- being; and

an environmental role - contributing to protecting and enhancing our natural, built and historic environment; and as part of this, helping to improve biodiversity, use natural resources prudently, minimise waste and pollution, and mitigate and adapt to climate change including moving to a low carbon economy.”

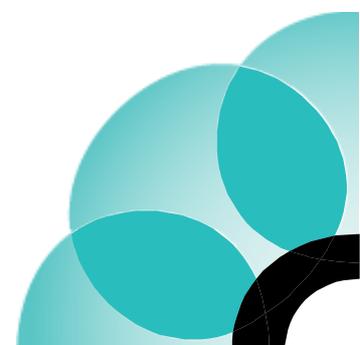
In **Paragraph 6**, the NPPF states that: “the policies in paragraphs 18-219, taken as a whole, constitute the Government’s view of what sustainable development in England means in practice for the planning system”.

The table below gives a clear and comprehensive narrative of how the Neighbourhood Plan has

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regard to the Core Planning Principles of the NPPF, and, by default, the achievement of sustainable development.

6. General Conformity with the Strategic Policies of the Development Plan

The Neighbourhood Plan has been prepared to ensure its general conformity with the 'strategic' policies of the Development Plan for the area, identified within "Part One Strategic Approach and Policies" of the adopted East Devon Local Plan 2013-2031.

The Exmouth Neighbourhood Plan avoids repeating existing national or local planning policies. The proposed policies therefore focus on key development issues in the area. For all other planning matters, the national and local policies including NPPF and East Devon Local Plan 2013-2031 development management policies are relevant.

The policies contained in the Neighbourhood Plan take fully into account the overarching strategies of the East Devon Local Plan 2013 -2031 including:

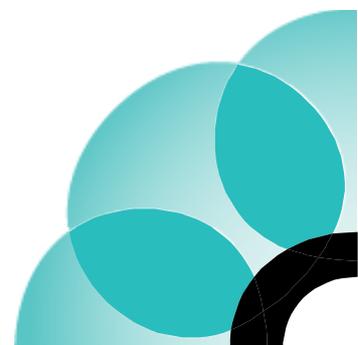
- **Strategy 1 – Spatial Strategy for Development in East Devon.**

This policy highlights that Exmouth will form a focal point for development to serve their own needs and the needs of the surrounding area. The Neighbourhood Plan aligns with this core strategy (and that of **Strategy 32 - Resisting Loss of Employment, Retail and Community Sites and Buildings**), by seeking to retain and facilitate the growth of employment.

- **Strategy 3 – Sustainable Development and Strategy 4 – Balanced Communities**

In accordance with these strategic policies the Neighbourhood Plan policies maximise:

- positive health impacts by focusing on green infrastructure including valley parks which are important to recreation, leisure, community use, townscape and the landscape quality of the



- area. (Aligning also with **Strategy 5 – Environment**);
- the opportunity for sustainable transport and physical activity through encouraging the provision /enhancement of travel networks which encourage walking, riding and cycling. (Encouraging sustainable transport aligns with **Strategy 5B – Sustainable Transport**); and
 - encourages the provision for growing local food through an allotments policy.

Policies in the Neighbourhood Plan are also designed to promote renewable energy and seek to ensure development does not add to the flooding of existing communities, in line with strategy 3 and 4, whilst also being consistent with **Strategy 39 Renewable and Low Carbon Energy Projects**

- **Strategy 5 – Environment**

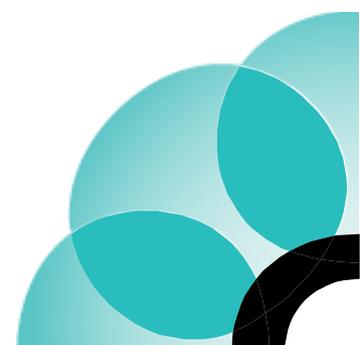
The Neighbourhood Plan seeks to conserve and enhance the historic built environment through its policy aimed at sustaining the distinctiveness of shopfronts and requiring developments to be of a good quality design – consistent with this strategy, also that of **Strategy 48 – Local Distinctiveness in the Built Environment and Strategy 49 – The Historic Environment.**

- **Strategy 6 – Development within the Built-Up Area Boundaries and Strategy 7 – Development in the Countryside**

These policies address development within the Built-Up Area Boundary for Exmouth and the surrounding countryside. The Neighbourhood Plan and its policies are consistent with this strategic approach seeking to: “conserve and enhance the environment, the landscape, historic character and archaeological value and its wildlife, agricultural, recreational and natural resource of the countryside area” (East Devon Local Plan p40)

Strategy 22 – Development at Exmouth and Vision for Exmouth:

“Housing provision, including affordable housing, to serve the town and an employment led regeneration agenda. We will seek to reduce out commuting through indigenous employment growth and tourism related development. A focus will be on town centre enhancement, increased accessibility, improved retail provision and community facilities. We will plan for the completion of Dinan Way and to improve public transport links to Exeter.”



The Neighbourhood Plan accords with the East Devon Local Plan Vision and Strategy for Exmouth, policies seek to: enhance health and well-being facilities and the provision of affordable housing to meet identified needs, including the encouragement to deliver 'Accessible and Adaptable' Homes (also aligning with **Strategy 34 – District Wide Affordable Housing Provision Targets** and building on **Strategy 36 – Accessible and Adaptable Homes and Care/Extra Care Homes**).

The Neighbourhood Plan policies build upon regeneration proposals focused on key issues identified by the community.

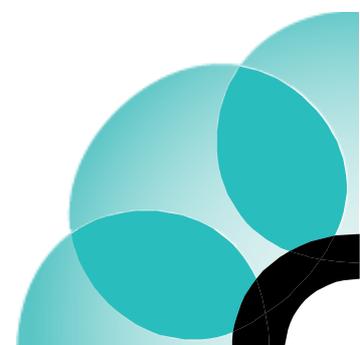
Strategy 45 – Coastal Erosion.

The Neighbourhood Plan policies seeks to encourage appropriate safeguarding against coastal erosion and flooding, conforming with this strategy.

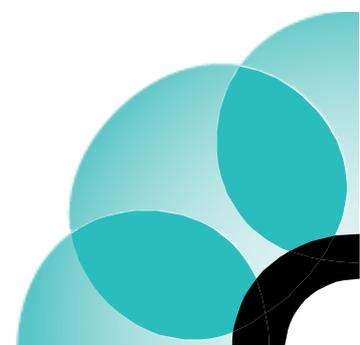
The table below lists strategic policies, in relation to Neighbourhood Plan policies.

7. How the Neighbourhood Plan meets the Basic Conditions

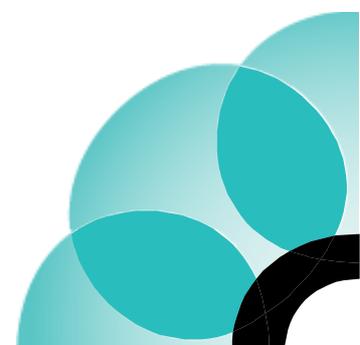
The table below gives a clear and comprehensive narrative and summary of how the Neighbourhood Plan has regard to the Core Planning Principles of the NPPF, contributes to the achievement of sustainable development; and references general conformity with the strategic policies of the East Devon Local Plan 2013 -2031, highlighting specific non-strategic Development Management policies relating to the individual Neighbourhood Plan policies.



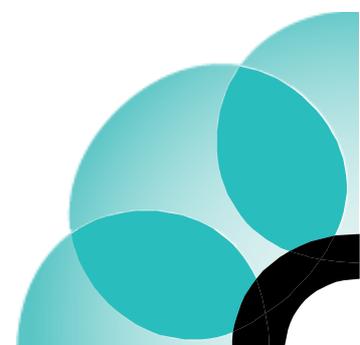
| <p>Policy No and Title</p> | <p>Regard to National Planning Policy Framework (NPPF) and National Planning Practice Guidance (NPPG)</p> | <p>Contribution to achieving sustainable development</p> | <p>General conformity with the strategic policies of the development plan for the area East Devon Local Plan 2013-2031.</p> |
|-----------------------------------|--|--|---|
| <p>EN1</p> | <p>By focussing development within the boundary, protecting the more sensitive areas and landscape from development, which are important to the community.</p> <p>Core planning principles, bullet point 5 which recognises the need to 'take account of the different roles and character of different areas'.</p> <p>NPPG – Natural Environment</p> | <p>Contributes to the maintenance of important green networks, which have positive impacts on the well-being of communities and also protect and enhance the natural environment.</p> <p>Therefore protecting them is considered to be an important contribution to sustainable development.</p> | <p>Strategy 3- Sustainable Development Strategy 4 – Balanced Communities Strategy 5 – Environment Strategy 7 – Development in the Countryside</p> |
| <p>EN2</p> | <p>Valley Parks are of special significance to the community, this policy seeks to protect and enhance these areas of important landscape and wildlife habitat – contributing to green infrastructure.</p> <p>Chapter 11 - Conserving and enhancing the natural environment.</p> <p>Para 109 and bullet points 1-3 which sets out how the planning system should contribute to enhancing the natural environment</p> | <p>Valley Parks contribute to the maintenance of important green networks, which have positive impacts on the well-being of communities and also protect and enhance the natural environment.</p> <p>Therefore protecting them is considered to be an important contribution to sustainable development.</p> | <p>Strategy 3 – Sustainable Development Strategy 4 – Balanced Communities Strategy 5 - Environment Strategy 22 – Development at Exmouth</p> <p>Of particular relevance Development Management Policy:</p> <p>EN2 - The Valley Parks in Exmouth</p> <p>“Within the Valley Parks in Exmouth on land identified on the Proposals Map as “Proposed Public Open Space” development other than that to provide</p> |



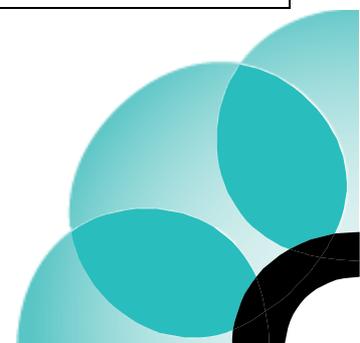
| Policy No and Title | Regard to National Planning Policy Framework (NPPF) and National Planning Practice Guidance (NPPG) | Contribution to achieving sustainable development | General conformity with the strategic policies of the development plan for the area East Devon Local Plan 2013-2031. |
|----------------------------|---|--|---|
| | <p>Chapter 10 - Meeting the challenge of climate change, flooding and coastal change</p> <p>Para 99 planning of green infrastructure to take account climate change including factors of flood risk.</p> <p>Para 114 planning positively for green infrastructure</p> <p>NPPG – Natural Environment</p> | | <p>a safe corridor for pedestrians, cyclists and disabled users and for outdoor recreation will not be permitted. New footpaths and cycleways should form an integral part of all new developments and where practical provide links to strategic and local routes, open space and recreation areas and to the Valley Parks.</p> <p>Initiatives to improve access to, enjoyment of and the physical extent of the Valley Parks in Exmouth, to include existing adjoining open space and new open space, will form part of a Suitable Alternative Natural Green Space (SANGS) mitigation measure for relieving visitor pressure and adverse impacts on the Exe Estuary and the Pebblebed Heaths. A particular onus will be attached to measures that will attract dog walkers away from the more sensitive estuary and Pebblebed heath sites and into less wildlife sensitive valley Park locations. Though the Valley Parks will serve a wider function</p> |



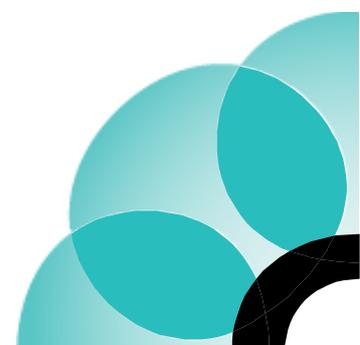
| <p>Policy No and Title</p> | <p>Regard to National Planning Policy Framework (NPPF) and National Planning Practice Guidance (NPPG)</p> | <p>Contribution to achieving sustainable development</p> | <p>General conformity with the strategic policies of the development plan for the area East Devon Local Plan 2013-2031.</p> |
|-----------------------------------|--|--|--|
| | | | <p>than just being SANGS.”</p> |
| <p>EN3</p> | <p>This policy seeks to encourage the expansion of Valley Parks within Exmouth, to provide multiple benefits to the community.</p> <p>Chapter 11- Conserving and enhancing the natural environment</p> <p>Para 109, bullet points 1-3 sets out how the planning system should contribute to enhancing the natural environment.</p> <p>Para 99 planning of green infrastructure to take account climate change including changes to biodiversity and landscape.</p> <p>Para 114 planning positively for green infrastructure.</p> <p>NPPG – Natural Environment</p> | <p>Valley Parks contribute to the maintenance of important green networks, which have positive impacts on the well-being of communities and also protect and enhance the natural environment.</p> <p>Therefore protecting them is considered to be an important contribution to sustainable development.</p> | <p>Strategy 3 – Sustainable Development Strategy 4 – Balanced Communities Strategy 5 - Environment Strategy 22 – Development at Exmouth</p> <p>Of relevance, Development Management Policy:</p> <p>EN2 - The Valley Parks in Exmouth</p> <p>Within the Valley Parks in Exmouth on land identified on the Proposals Map as “Proposed Public Open Space” development other than that to provide a safe corridor for pedestrians, cyclists and disabled users and for outdoor recreation will not be permitted. New footpaths and cycleways should form an integral part of all new developments and where practical provide links to strategic and local routes, open space and recreation areas and to the Valley Parks.</p> |



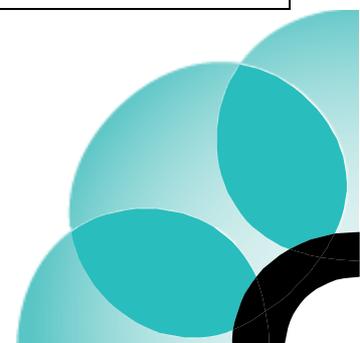
| Policy No and Title | Regard to National Planning Policy Framework (NPPF) and National Planning Practice Guidance (NPPG) | Contribution to achieving sustainable development | General conformity with the strategic policies of the development plan for the area East Devon Local Plan 2013-2031. |
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| | | | <p>Initiatives to improve access to, enjoyment of and the physical extent of the Valley Parks in Exmouth, to include existing adjoining open space and new open space, will form part of a Suitable Alternative Natural Green Space (SANGS) mitigation measure for relieving visitor pressure and adverse impacts on the Exe Estuary and the Pebblebed Heaths. A particular onus will be attached to measures that will attract dog walkers away from the more sensitive estuary and Pebblebed heath sites and into less wildlife sensitive valley Park locations. Though the Valley Parks will serve a wider function than just being SANGS.</p> |
| EN4 | <p>This policy seeks to promote renewable energy, whilst ensuring adverse impacts are addressed.</p> <p>NPPF, Core planning principles, bullet point 6 encouraging the use of renewable resources.</p> <p>Para 97 responsibility to</p> | <p>Renewable energy will play a critical part in helping the UK meet climate change targets. Renewable energy reduces environmental impact, and can provide a diversity of supply. Policies to promote</p> | <p>Strategy 3 – Sustainable Development</p> <p>Strategy 38 – Sustainable Design and Construction</p> <p>Strategy 39 – Renewable and Low Carbon Energy Projects</p> |



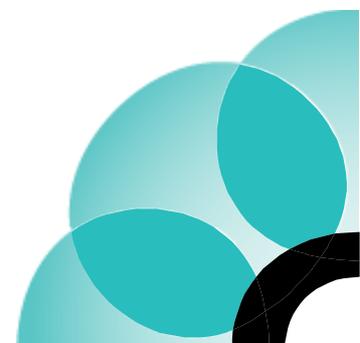
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| | <p>contribute towards energy generation. NPPG- Renewable and Low Carbon Energy.</p> | <p>renewable energy whilst ensuring adverse impacts are addressed satisfactorily including those of landscape and ecology are particularly relevant to sustainable development.</p> | |
| <p>EN5</p> | <p>This policy seeks to address the impacts of surface water discharge on the environment. Core principles bullet point 6 taking account of flood risk. Chapter 10 - Meeting the challenge of climate change, flooding and coastal change Para 99 -100 recognises plans should take account of climate change including factors of flood risk and changes to biodiversity over the longer term NPPG Flood risk and Coastal Change</p> | <p>Policies which seek to ensure development does not add to flooding are particularly relevant to sustainable development.</p> | <p>Strategy 3 – Sustainable Development Strategy 5 – Environment Strategy 22 – Development at Exmouth Of relevance Development Management policy: EN22 - Surface Run-Off Implications of New Development Planning permission for new development will require that: The surface water run-off implications of the proposal have been fully considered and found to be acceptable, including implications for coastal erosion. Appropriate remedial measures are included as an integral part of the</p> |



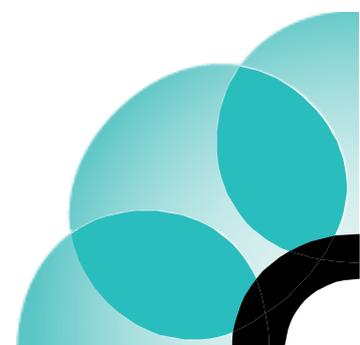
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| | | | <p>development, and there are clear arrangements in place for ongoing maintenance over the lifetime of the development.</p> <p>Where remedial measures are required away from the application site, the developer is in a position to secure the implementation of such measures.</p> <p>A Drainage Impact Assessment will be required for all new development with potentially significant surface run off implications. Surface water in all major commercial developments or schemes for 10 homes or more (or any revised threshold set by Government) should be managed by sustainable drainage systems, unless demonstrated to be inappropriate.</p> |
| EN6 | Policy intended to compliment national policy and guidance on avoiding | Policies which seek to ensure development does | Strategy 3 - Sustainable Development Strategy 5 - Environment |



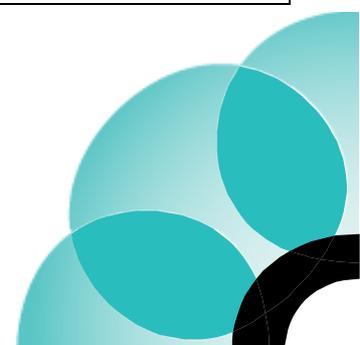
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| | <p>and minimising flood risks through the incorporation of SUDs.</p> <p>Core principles bullet point 6 taking account of flood risk.</p> <p>Chapter 10 - Meeting the challenge of climate change, flooding and coastal change.</p> <p>Para 103 gives priority to sustainable urban drainage systems.</p> <p>Written Ministerial Statement SUDs</p> <p>NPPG Flood risk and Coastal Change</p> | <p>not add to flooding are particularly relevant to sustainable development</p> | <p>Strategy 22 – Development at Exmouth</p> <p>Strategy 45 – Coastal Erosion</p> <p>Of relevance Development Management Policy:</p> <p>EN22 - Surface Run-Off Implications of New Development</p> <p>Planning permission for new development will require that:</p> <p>The surface water run-off implications of the proposal have been fully considered and</p> <p>found to be acceptable, including implications for coastal erosion.</p> <p>Appropriate remedial measures are included as an integral part of the development, and</p> <p>there are clear arrangements in place for ongoing maintenance over the lifetime of the development.</p> <p>Where remedial measures are required away from the application site, the</p> |



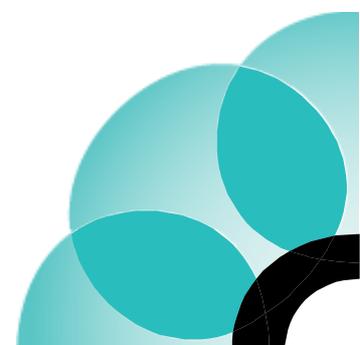
| <p>Policy No and Title</p> | <p>Regard to National Planning Policy Framework (NPPF) and National Planning Practice Guidance (NPPG)</p> | <p>Contribution to achieving sustainable development</p> | <p>General conformity with the strategic policies of the development plan for the area East Devon Local Plan 2013-2031.</p> |
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| | | | <p>developer is in a position to secure the implementation of such measures.</p> <p>A Drainage Impact Assessment will be required for all new development with potentially significant surface run off implications. Surface water in all major commercial developments or schemes for 10 homes or more (or any revised threshold set by Government) should be managed by sustainable drainage systems, unless demonstrated to be inappropriate.</p> |
| <p>EN7</p> | <p>Policy is seeking to protect and encourage flood and coastal management strategies.</p> <p>Core principles bullet point 6 taking account of flood risk.</p> <p>Chapter 10 -Meeting the challenge of climate change, flooding and coastal change.</p> <p>Paras 105-108 considers coastal development and the</p> | <p>Necessary to reduce the risk to people and development, providing wide sustainability benefits</p> | <p>Strategy 3 – Sustainable Development</p> <p>Strategy 5 – Environment</p> <p>Strategy 22 – Development at Exmouth</p> |



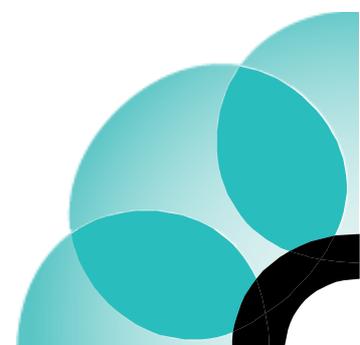
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| | risk to people and development. NPPG Flood risk and Coastal Change | | |
| EN8 | Policy seeking to encourage flood risk management. Core principles bullet point 6 taking account of flood risk. Chapter 10 - Meeting the challenge of climate change, flooding and coastal change. NPPG Flood risk and Coastal Change | Will have positive impacts on the well-being of communities and also protect and enhance the natural environment. Therefore protecting them is considered to be an important contribution to sustainable development. | Strategy 3 – Sustainable Development Strategy 5 – Environment Strategy 22 – Development at Exmouth |
| EB1 | This policy seeks to recognise the enduring distinctiveness of Exmouth’s shop fronts and the contribution they make to the built environment. Core principles bullet point 4 and 10 seeking high quality design and conserving heritage assets. Chapter 7 - Requiring good design Para 58 states: ‘local and neighbourhood plans should develop robust and | The historic environment is at the heart of our culture and past. Quality and character of the town centre is a key contributor to the economy and quality of life – an important contribution to sustainable development. | Strategy 3 – Sustainable Development Strategy 5 – Environment Strategy 22 – Development at Exmouth Strategy 48 – Local Distinctiveness in the Built Environment Strategy 49 – The Historic Environment Of relevance Development Management Policy: Strategy 48 - Local Distinctiveness in the Built Environment |



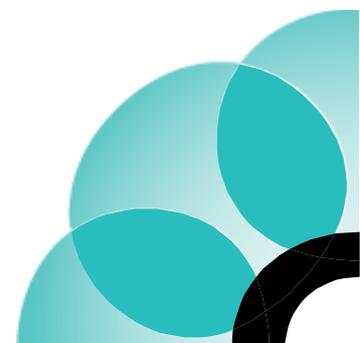
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| | <p>comprehensive policies that set out the quality of development that will be expected for the area’</p> <p>Chapter 12 - Conserving and enhancing the historic environment sets out the importance of the historic environment.</p> <p>NPPG Design</p> <p>NPPG Conserving and enhancing the historic environment</p> | | <p>Local distinctiveness and the importance of local design standards in the development process will be of critical importance to ensure that East Devon's towns and villages retain their intrinsic physical built qualities. Where towns or villages are or have been despoiled we will seek to have qualities reinstated through good design. Use of local materials and local forms and styles will be essential to this distinctiveness.</p> <p>We will work with our partners and local communities to produce Design Statements to guide new development and ensure its appropriateness.</p> <p>Strategy 49 – The Historic Environment</p> <p>The physical and cultural heritage of the district, including archaeological assets and historic landscape character, will be conserved and enhanced and the contribution that historic places make to the economic and social well-being of the population will be recognised, evaluated and</p> |



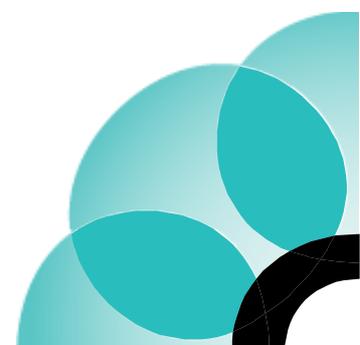
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| | | | <p>promoted. We will work with our partners and local communities to produce or update conservation area appraisals and conservation area management plans.</p> |
| <p>EB2</p> | <p>This policy seeks to recognise the enduring distinctiveness of Exmouth’s Avenues.</p> <p>Chapter 7 – Requiring good design.</p> <p>Para 58 states: ‘local and neighbourhood plans should develop robust and comprehensive policies that set out the quality of development that will be expected for the area’</p> <p>NPPG Design</p> | <p>Requiring developments to be of good design and provide a sense of place will create a high quality built environment will improve and enhance the area, contributing to sustainable development.</p> | <p>Strategy 5 – Environment</p> <p>Strategy 48 – Local Distinctiveness in the Built Environment</p> <p>Of relevance Development Management policy:</p> <p>Strategy 48 - Local Distinctiveness in the Built Environment</p> <p>Local distinctiveness and the importance of local design standards in the development process will be of critical importance to ensure that East Devon’s towns and villages retain their intrinsic physical built qualities. Where towns or villages are or have been despoiled we will seek to have qualities reinstated through good design. Use of</p> |



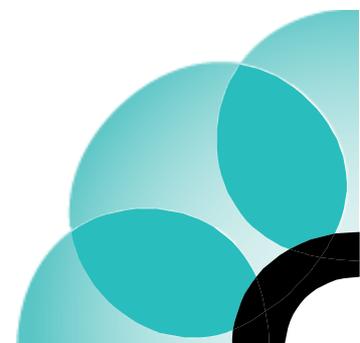
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| | | | <p>local materials and local forms and styles will be essential to this distinctiveness.</p> <p>We will work with our partners and local communities to produce Design Statements to guide new development and ensure its appropriateness.</p> |
| <p>EE1</p> | <p>This policy supports business and investment within the Built Up Area.</p> <p>Core planning principle bullet point 3 highlights planning should: “proactively drive and support sustainable economic development”.</p> <p>Chapter 1 – Building a strong, competitive economy, highlights the need to plan proactively for economic growth.</p> | <p>Positive planning policy to support jobs, business and investment, contributing towards sustainable development.</p> | <p>Strategy 3 – Sustainable Development Strategy 4 – Balanced communities Strategy 6 – Development within the Built-Up Area Boundaries Strategy 22 – Development at Exmouth</p> <p>Of relevance Development Management policy: E2 - Employment Generating Development in Built-Up Areas</p> <p>Within Built-up Area Boundaries, on sites not allocated or reserved for other uses, new businesses or expansion of existing businesses will be permitted provided the proposed development,</p> |



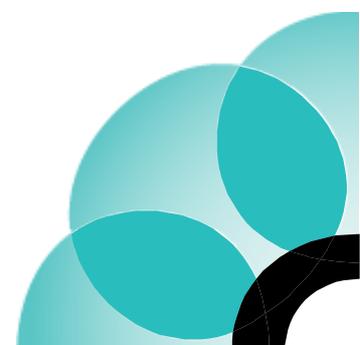
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| | | | <p>whether through re-use of existing buildings or new build, meets the following criteria in full:</p> <p>Where practical it is accessible by pedestrians, cyclists and public transport.</p> <p>It would not generate traffic of a type or amount inappropriate for the character of access roads or require improvements that would damage the character of those roads.</p> <p>It would not harm the character or setting of local settlements or the amenity of nearby residents.</p> <p>It would not harm any site of nature conservation value or archaeological importance or any building of architectural or historic interest.</p> <p>It would blend into the landscape and/or townscape in terms of design, siting and materials.</p> |



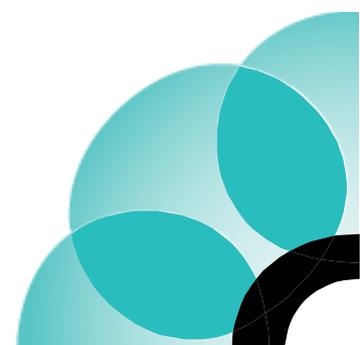
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| | | | <p>Within the Built-up Area Boundaries of the seven coastal and market towns of the district we will support regeneration schemes designed to increase net job opportunities in the business, retail and/or leisure use classes, subject to the criteria listed above.</p> |
| EE2 | <p>This policy seeks to retain employment opportunities.</p> <p>Core planning principle bullet point 3 highlights planning should: “proactively drive and support sustainable economic development”.</p> <p>Chapter 1 – Building a strong, competitive economy, highlights the need to plan proactively for economic growth.</p> <p>Para 22 states “ planning policies should avoid the long term protection of sites allocated for employment uses where there is no reasonable prospect of a site being used for that purpose” and “Where there is no reasonable prospect of a site</p> | <p>Supporting sustainable local communities.</p> | <p>Strategy 4 – Balanced communities</p> <p>Strategy 22 – Development at Exmouth</p> <p>Strategy 32 – Resisting Loss of Employment, Retail and Community Sites and Buildings</p> |



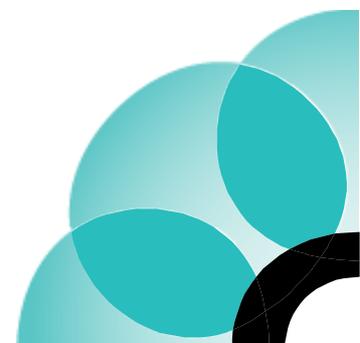
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| | <p>being used for the allocated employment use, applications for alternative uses of land or buildings should be treated on their merits having regard to market signals and the relative need for different land uses to support sustainable local communities.”</p> | | |
| EE3 | <p>This policy seeks to encourage regeneration of the Magnolia Centre, providing for a safe and accessible.</p> <p>Core planning principle bullet point 3 highlights planning should: “proactively drive and support sustainable economic development”.</p> <p>Chapter 2 - Ensuring the vitality of town centres, requires policies to be positive and promote competitive town centre environments.</p> <p>Para 40 seeks to “improve the quality of parking in town centres”</p> <p>NPPG Ensuring the Vitality of</p> | <p>The improvement of the town and facilities within it will contribute towards strengthening of the centre, will provide a balanced approach alongside other policies with the plan, to provide for sustainable development.</p> | <p>Strategy 3 – Sustainable Development Strategy 22 – Development at Exmouth Of relevance Development Management policy: E2 - Employment Generating Development in Built-Up Areas Within Built-up Area Boundaries, on sites not allocated or reserved for other uses, new businesses or expansion of existing businesses will be permitted provided the proposed development, whether through re-use of existing buildings or new build, meets the following criteria in full: Where practical it is accessible by pedestrians, cyclists and public</p> |



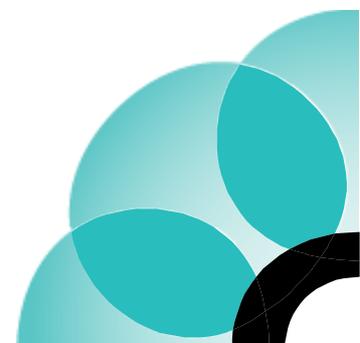
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| | <p>Town Centres</p> | | <p>transport.</p> <p>It would not generate traffic of a type or amount inappropriate for the character of access roads or require improvements that would damage the character of those roads.</p> <p>It would not harm the character or setting of local settlements or the amenity of nearby residents.</p> <p>It would not harm any site of nature conservation value or archaeological importance or any building of architectural or historic interest.</p> <p>It would blend into the landscape and/or townscape in terms of design, siting and materials.</p> <p>Within the Built-up Area Boundaries of the seven coastal and market towns of the district we will support regeneration schemes designed to increase net job opportunities in the business, retail</p> |



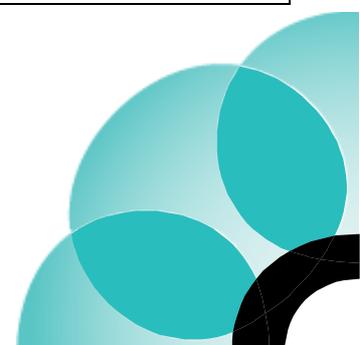
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| | | | <p>and/or leisure use classes, subject to the criteria listed above.</p> |
| <p>EE4</p> | <p>This policy supports the regeneration of Camperdown Creek, which provides for mixed use development appropriate to the location, with regard to flood risk.</p> <p>Core planning principle bullet point 3 highlights planning should: “proactively drive and support sustainable economic development”.</p> <p>Chapter 2 - Ensuring the vitality of town centres, requires policies to be positive and promote competitive town centre environments.</p> <p>Chapter 10 - Meeting the challenge of climate change, flooding and coastal change.</p> <p>NPPG Ensuring the Vitality of Town Centres</p> <p>NPPG Flood risk and Coastal</p> | <p>The improvement of the town and facilities within it will contribute towards strengthening of the centre, will provide a balanced approach alongside other policies with the plan, to provide for sustainable development.</p> | <p>Strategy 3 – Sustainable Development</p> <p>Strategy 5 - Environment</p> <p>Strategy 22 – Development at Exmouth</p> <p>Of relevance Development Management policy:</p> <p>E2 - Employment Generating Development in Built-Up Areas</p> <p>Within Built-up Area Boundaries, on sites not allocated or reserved for other uses, new businesses or expansion of existing businesses will be permitted provided the proposed development, whether through re-use of existing buildings or new build, meets the following criteria in full:</p> <p>Where practical it is accessible by pedestrians, cyclists and public transport.</p> |



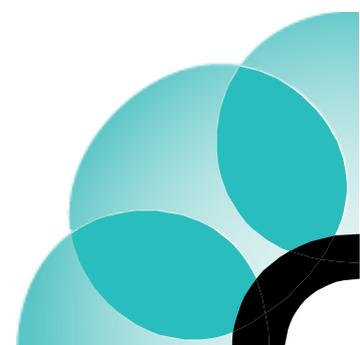
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| | <p>Change</p> | | <p>It would not generate traffic of a type or amount inappropriate for the character of access roads or require improvements that would damage the character of those roads.</p> <p>It would not harm the character or setting of local settlements or the amenity of nearby residents.</p> <p>It would not harm any site of nature conservation value or archaeological importance or any building of architectural or historic interest.</p> <p>It would blend into the landscape and/or townscape in terms of design, siting and materials.</p> <p>Within the Built-up Area Boundaries of the seven coastal and market towns of the district we will support regeneration schemes designed to increase net job opportunities in the business, retail and/or leisure use classes, subject to</p> |



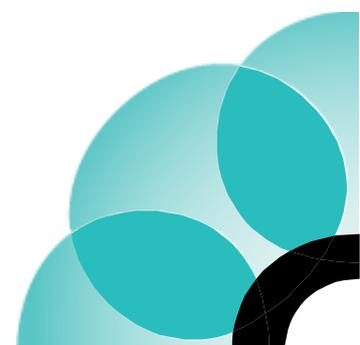
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| | | | <p>the criteria listed above.</p> |
| <p>EE5</p> | <p>This policy supports regeneration of QQD, which is sympathetic to the built and natural environment.</p> <p>Core planning principle bullet point 3 highlights planning should: “proactively drive and support sustainable economic development”.</p> <p>Chapter 2 - Ensuring the vitality of town centres, requires policies to be positive and promote competitive town centre environments.</p> <p>Chapter 7- Requiring good design</p> <p>NPPG Ensuring the Vitality of Town Centres</p> | <p>The improvement of the town and facilities within it will contribute towards strengthening of the centre, will provide a balanced approach alongside other policies with the plan, to provide for sustainable development.</p> | <p>Strategy 3 – Sustainable Development</p> <p>Strategy 5 - Environment</p> <p>Strategy 22 – Development at Exmouth</p> <p>Strategy 48 – Local Distinctiveness in the Built Environment</p> <p>Of relevance Development Management policy:</p> <p>E2 - Employment Generating Development in Built-Up Areas</p> <p>Within Built-up Area Boundaries, on sites not allocated or reserved for other uses, new businesses or expansion of existing businesses will be permitted provided the proposed development, whether through re-use of existing buildings or new build, meets the following criteria in full:</p> <p>Where practical it is accessible by pedestrians, cyclists and public transport.</p> <p>It would not generate traffic of a type or amount inappropriate for the character</p> |



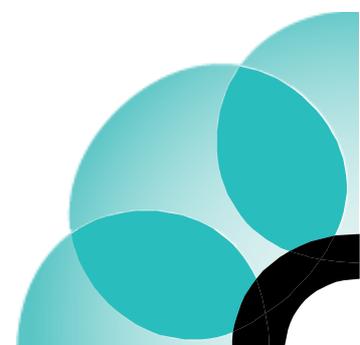
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| | | | <p>of access</p> <p>roads or require improvements that would damage the character of those roads.</p> <p>It would not harm the character or setting of local settlements or the amenity of nearby residents.</p> <p>It would not harm any site of nature conservation value or archaeological importance or any building of architectural or historic interest.</p> <p>It would blend into the landscape and/or townscape in terms of design, siting and materials.</p> <p>Within the Built-up Area Boundaries of the seven coastal and market towns of the district we will support regeneration schemes designed to increase net job opportunities in the business, retail and/or leisure use classes, subject to the criteria listed above.</p> |



| <p>Policy No and Title</p> | <p>Regard to National Planning Policy Framework (NPPF) and National Planning Practice Guidance (NPPG)</p> | <p>Contribution to achieving sustainable development</p> | <p>General conformity with the strategic policies of the development plan for the area East Devon Local Plan 2013-2031.</p> |
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| <p>EE6</p> | <p>Supporting a cafe proposal at Orcombe Point.</p> <p>Core planning principle bullet point 3 highlights planning should: “proactively drive and support sustainable economic development”.</p> <p>Chapter 2 - Ensuring the vitality of town centres, requires policies to be positive and promote competitive town centre environments.</p> <p>Chapter 7- Requiring good design</p> <p>NPPG Ensuring the Vitality of Town Centres</p> | <p>The improvement of the town and facilities within it will contribute towards strengthening the diverse range of facilities on offer, which will provide a balanced approach to meeting community aspirations, to provide for sustainable development.</p> | <p>Strategy 3 – Sustainable Development</p> <p>Strategy 5 - Environment</p> <p>Strategy 22 – Development at Exmouth</p> <p>Strategy 48 – Local Distinctiveness in the Built Environment</p> <p>Of relevance Development Management policy:</p> <p>E2 - Employment Generating Development in Built-Up Areas</p> <p>Within Built-up Area Boundaries, on sites not allocated or reserved for other uses, new businesses or expansion of existing businesses will be permitted provided the proposed development, whether through re-use of existing buildings or new build, meets the following criteria in full:</p> <p>Where practical it is accessible by pedestrians, cyclists and public transport.</p> <p>It would not generate traffic of a type or amount inappropriate for the character of access roads or require improvements that</p> |



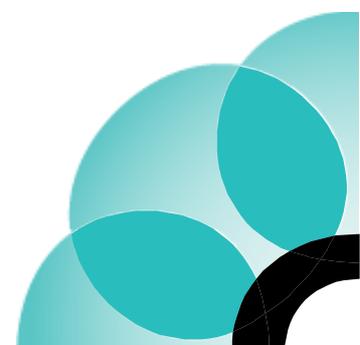
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| | | | <p>would damage the character of those roads.</p> <p>It would not harm the character or setting of local settlements or the amenity of nearby residents.</p> <p>It would not harm any site of nature conservation value or archaeological importance or any building of architectural or historic interest.</p> <p>It would blend into the landscape and/or townscape in terms of design, siting and materials.</p> <p>Within the Built-up Area Boundaries of the seven coastal and market towns of the district we will support regeneration schemes designed to increase net job opportunities in the business, retail and/or leisure use classes, subject to the criteria listed above.</p> |



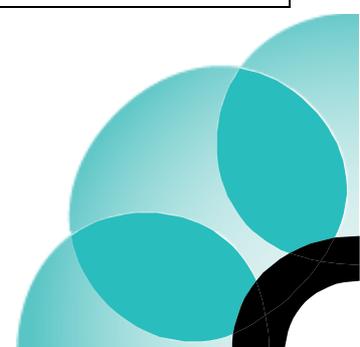
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| H1 | <p>Policy encouraging the delivery of affordable housing to meet local needs.</p> <p>Core planning principle bullet point 3 and 4 taking: “account of the different roles and character of different areas” and housing affordability.</p> <p>Chapter 6 – Delivering a wide choice of high quality homes</p> <p>Para 159 understanding of scale, mix and tenure of housing.</p> <p>Para 173-174 requirement for affordable housing policies to set out local standards.</p> <p>NPPG Housing and economic development need</p> <p>NPPG Planning Obligations</p> | <p>Seeking affordable housing to meet the requirements for Exmouth, delivering sustainable development.</p> | <p>Strategy 34 – District Wide Affordable Housing Provision</p> |
| H2 | <p>Delivering the housing that meets the needs of the community.</p> <p>Core planning principle bullet point 3 and 4 taking: “account of the different roles and character of different areas” and housing affordability.</p> <p>Chapter 6 – Delivering a wide choice of high quality homes</p> | <p>Housing form is fundamental to achieving sustainable development.</p> | <p>Strategy 4 – Balanced Communities</p> <p>Strategy 36 – Accessible and Adaptable Homes and Care/Extra Care</p> |



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| | <p>Para 50 – planning for a mix of housing and needs for different groups in the community.</p> <p>Para 159 understanding of scale, mix and tenure of housing.</p> <p>Para 173-174 requirement for affordable housing policies to set out local standards.</p> <p>NPPG Design</p> | | |
| GA1 | <p>Policy seeks to encourage improved access for pedestrians and cyclists.</p> <p>Core planning principle bullet point 11, managing development to make the: “the fullest possible use of public transport, walking and cycling”.</p> <p>Chapter 8 – Promoting Health Communities with: “safe and accessible developments, containing clear and legible routes”</p> <p>NPPG Design</p> <p>NPPG Health and Well Being</p> | <p>Requiring developments to be of good design and which encourage the active use of an area contributes towards sustainable development.</p> | <p>Strategy 3 – Sustainable Development</p> <p>Strategy 22 – Development at Exmouth</p> <p>Of relevance Development Management policy:</p> <p>TC4 - Footpaths, Bridleways and Cycleways</p> <p>Development proposals will be required to include measures to provide, improve and extend facilities for pedestrians and cyclists commensurate with the scale of the proposal.</p> <p>Footways and routes for pedestrians and cyclists within and through new</p> |



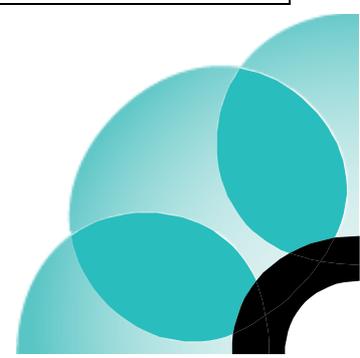
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| | | | <p>development schemes will be encouraged. These measures may include both shared and exclusive surfaces to provide safe, convenient and attractive routes, and must be designed to take account of the needs of persons with restricted mobility. Wherever possible the opportunity should be taken to join, upgrade and extend existing or proposed networks. Development which would result in the loss, or reduce the convenience or attractiveness of an existing or proposed footpath, cycleway or bridleway, will not be permitted unless an acceptable alternative route is provided.</p> |
| GA2 | <p>Policy encourages the creation of a network of safe, well connected routes for sustainable transport.</p> <p>Core planning principle bullet point 11, managing development to make the: “ the fullest possible use of public transport, walking and</p> | <p>Draws attention to the need to encourage sustainable modes of transport, aligning with sustainable development.</p> | <p>Strategy 3 – Sustainable Development Strategy 22 – Development at Exmouth Of relevance Development Management policy: TC4 - Footpaths, Bridleways and Cycleways</p> |



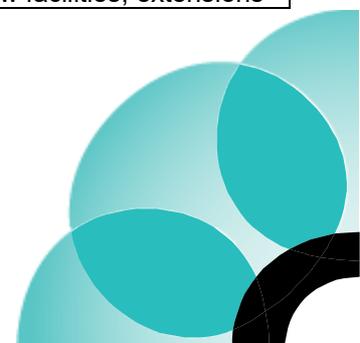
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| | <p>cycling”.</p> <p>Chapter 8 – Promoting Health Communities with: “safe and accessible developments, containing clear and legible routes”</p> <p>Para 35: “Plans should protect and exploit opportunities for the use of sustainable transport modes”</p> <p>NPPG Design</p> <p>NPPG Health and Wellbeing</p> | | <p>Development proposals will be required to include measures to provide, improve and extend facilities for pedestrians and cyclists commensurate with the scale of the proposal.</p> <p>Footways and routes for pedestrians and cyclists within and through new development schemes will be encouraged. These measures may include both shared and exclusive surfaces to provide safe, convenient and attractive routes, and must be designed to take account of the needs of persons with restricted mobility. Wherever possible the opportunity should be taken to join, upgrade and extend existing or proposed networks.</p> <p>Development which would result in the loss, or reduce the convenience or attractiveness of an existing or proposed footpath, cycleway or bridleway, will not be permitted unless an acceptable alternative route is provided.</p> |



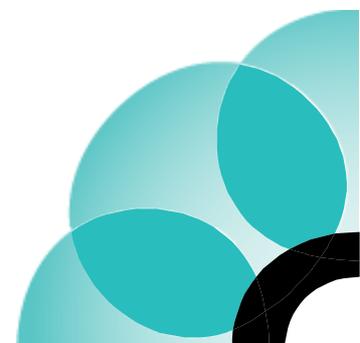
| <p>Policy No and Title</p> | <p>Regard to National Planning Policy Framework (NPPF) and National Planning Practice Guidance (NPPG)</p> | <p>Contribution to achieving sustainable development</p> | <p>General conformity with the strategic policies of the development plan for the area East Devon Local Plan 2013-2031.</p> |
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| <p>CF1</p> | <p>This policy seeks to guard against the loss of health and well-being facilities and seeks to improve the well-being of the community.</p> <p>Chapter 8 – Promoting Health Communities</p> <p>Para 70 delivering local services</p> <p>NPPG Health and Wellbeing</p> | <p>Planning positively for the provision of local services and guarding against the loss of such facilities to enhance sustainability.</p> | <p>Strategy 3 – Sustainable Development</p> <p>Strategy 4 – Balanced Communities</p> <p>Strategy 22 - Development at Exmouth</p> <p>Strategy 32 - Resisting Loss of Employment, Retail and Community Sites</p> <p>Of relevance, Development Management policy:</p> <p>RC6 - Local Community Facilities</p> <p>Proposals for new facilities, extensions and/or alterations to existing facilities to serve the local community will be permitted on sites within or adjoining Built-up Area Boundaries provided they meet the following criteria in full:</p> <p>The proposal would be compatible with the character of the site and its surroundings and</p> <p>in villages with the rural character of the settlement.</p> <p>The proposal will be well related to the built form of the settlement and close to existing</p> <p>development.</p> <p>The site is accessible by a variety of types of transport, including walking and cycling and</p> |



| <p>Policy No and Title</p> | <p>Regard to National Planning Policy Framework (NPPF) and National Planning Practice Guidance (NPPG)</p> | <p>Contribution to achieving sustainable development</p> | <p>General conformity with the strategic policies of the development plan for the area East Devon Local Plan 2013-2031.</p> |
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| | | | <p>the amount of traffic generated by the proposal could be accommodated on the local highway network without harming road safety.</p> <p>The proposal would not be detrimental to the amenity of neighbouring residents by reason of undue noise or traffic.</p> <p>In the countryside, outside defined Built-up Area Boundaries, proposals will only be permitted if they meet the above criteria and a need for the facility has been proven.</p> <p>Planning Permission will not be granted for developments that would result in the loss or closure of a community facility unless the community facility is no longer needed or is not viable or an alternative facility of equal or higher value is being provided.</p> |
| <p>CF2</p> | <p>Supports the provision of community facilities to improve health and well-being, which provides appropriate parking and takes into account accessibility in terms of public transport.</p> <p>Chapter 8 – Promoting Health</p> | <p>Planning positively for the provision of local services to contribute towards sustainable development.</p> | <p>Strategy 3 – Sustainable Development Strategy 4 – Balanced Communities Strategy 22 - Development at Exmouth Of relevance, Development Management policy: RC6 - Local Community Facilities Proposals for new facilities, extensions</p> |



| <p>Policy No and Title</p> | <p>Regard to National Planning Policy Framework (NPPF) and National Planning Practice Guidance (NPPG)</p> | <p>Contribution to achieving sustainable development</p> | <p>General conformity with the strategic policies of the development plan for the area East Devon Local Plan 2013-2031.</p> |
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| | <p>Communities Para 70 delivering local services NPPG Health and Wellbeing</p> | | <p>and/or alterations to existing facilities to serve the local community will be permitted on sites within or adjoining Built-up Area Boundaries provided they meet the following criteria in full:</p> <p>The proposal would be compatible with the character of the site and its surroundings and</p> <p>in villages with the rural character of the settlement.</p> <p>The proposal will be well related to the built form of the settlement and close to existing development.</p> <p>The site is accessible by a variety of types of transport, including walking and cycling and</p> <p>the amount of traffic generated by the proposal could be accommodated on the local highway network without harming road safety.</p> <p>The proposal would not be detrimental to the amenity of neighbouring residents by reason of undue noise or traffic.</p> <p>In the countryside, outside defined Built-up Area Boundaries, proposals will only be permitted if they meet the</p> |



| <p>Policy No and Title</p> | <p>Regard to National Planning Policy Framework (NPPF) and National Planning Practice Guidance (NPPG)</p> | <p>Contribution to achieving sustainable development</p> | <p>General conformity with the strategic policies of the development plan for the area East Devon Local Plan 2013-2031.</p> |
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| | | | <p>above criteria and a need for the facility has been proven.</p> <p>Planning Permission will not be granted for developments that would result in the loss or closure of a community facility unless the community facility is no longer needed or is not viable or an alternative facility of equal or higher value is being provided.</p> |
| <p>CF3</p> | <p>This policy supports the opportunities for physical activity through sport and leisure facilities.</p> <p>Chapter 8 – Promoting Health Communities</p> <p>Para 70 delivering sports facilities.</p> <p>Para 73 promotes access to sports and recreation facilities.</p> <p>NPPG Health and Wellbeing</p> <p>NPPG Open space, sports and recreation facilities, public rights of way and local green space.</p> | <p>Planning positively for the provision of sports and recreation to enhance community and individual well-being, an important contribution towards sustainable development.</p> | <p>Strategy 3 – Sustainable Development</p> <p>Strategy 4 – Balanced Communities</p> <p>Strategy 22 - Development at Exmouth</p> <p>Of relevance, Development Management policy:</p> <p>RC2 – New Open Space, Sports Facilities and Parks</p> <p>Within or adjoining urban or built-up areas, permission will be granted for new open space areas, allotments, sports facilities and parks, the accommodation of the visual and performing arts, and the upgrading or enhancement of existing facilities provided the following criteria are met:</p> <p>They do not unduly affect the character and appearance of the area and the</p> |



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| | | | <p>visual and physical amenities enjoyed by adjoining residential areas.</p> <p>They are accessible by public transport, bicycle and on foot.</p> <p>Appropriate car and cycle parking is provided.</p> <p>The proposed road access to the site provides for safe exit and entry and the local road network can safely accommodate the extra traffic the proposal would generate.</p> <p>The facilities are located without detriment to the best and most versatile agricultural land, nature conservation interest and the conservation of areas of landscape, scientific, archaeological or historic interest.</p> |



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| CF4 | This policy seeks to support the provision of this valuable asset to the community Chapter 8 – Promoting Health and Well Being NPPG Health and Wellbeing NPPG Open space, sports and recreation facilities, public rights of way and local green space NPPG Natural Environment | Encouraging provision for growing local food is beneficial to health and well-being, contributing towards sustainable development | Strategy 3 – Sustainable Development Strategy 4 – Balanced Communities Strategy 22 - Development at Exmouth Of relevance, Development Management policy: RC3 – Allotments Permission will not be granted for proposals involving the loss of allotments for other development unless there is insufficient demand for allotment use or appropriate alternative sites can be provided. |

8. Compatiability with EU obligations and legislation

The Exmouth Neighbourhood Plan 2018 - 2031 is fully compatible with EU Obligations.



The Neighbourhood Plan has been subject to a Strategic Environmental Assessment (SEA) and Habitats Regulations Assessment (HRA) screening Report by EDDC Feb 2108 which concluded that there is no requirement for a full SEA or HRA to be undertaken. This document is in Appendix 1.

The Neighbourhood Plan has regard to the fundamental rights and freedoms guaranteed under the European Convention on Human Rights and complies with the Human Rights Act 1998. The Neighbourhood Plan has been produced in full regard to national policy guidance, which is compatible with the convention. The Plan has been produced in full consultation with the local community. The Plan does not contain policies that would infringe the human rights of residents or other stakeholders over and above the existing strategic policies at national or local level.

The Human Rights Act 1998 incorporated into UK law the European Convention on Human Rights ("The Convention"). The Convention includes provision in the form of Articles, the aim of which is to protect the rights of the individual.

Section 6 of the Act prohibits public bodies from acting in a manner, which is incompatible with the Convention. Various rights outlined in the Convention and its First Protocol are to be considered in the process of making and considering planning decisions, namely:

Article 1 of the First Protocol protects the right of everyone to the peaceful enjoyment of possessions. No one can be deprived of possessions except in the public interest and subject to the conditions provided by law and by the general principles of international law. The Submission Neighbourhood Plan is fully compatible with the rights outlined in this Article. Although the Submission Plan includes policies that would restrict development rights to some extent, this does not have a greater impact than the general restrictions on development rights provided for in national law, namely the Planning and Compulsory Purchase Act 2004 and the Localism Act 2011. The restriction of development rights inherent in the UK's statutory planning system is demonstrably in the public interest by ensuring that land is used in the most sustainable way, avoiding or mitigating adverse impacts on the environment, community and economy.

Situ8 Planning Consultancy Ltd

Oravia House, Trevarthian Road, St Austell, Cornwall PL25 4BH

01726 67591 enquiries@situ8.co.uk www.situ8.co.uk



Article 6 protects the right to a fair and public hearing before an independent tribunal in determination of an individual's rights and obligations. The process for Neighbourhood Plan production is fully compatible with this Article, allowing for extensive consultation on its proposals at various stages, and an independent examination process to consider representations received.

Article 14 provides that "The enjoyment of the rights and freedoms set forth in ... [the] ... European Convention on Human Rights shall be secured without discrimination on any ground such as sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status." The Parish Council has developed the policies and proposals within the Plan in full consultation with the community and wider stakeholders to produce as inclusive a document as possible. In general, the policies and proposals will not have a discriminatory impact on any particular group of individuals.

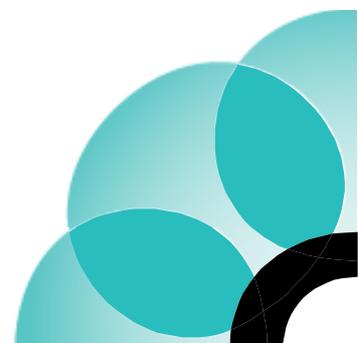
9. Conclusion

It is considered that the Exmouth Neighbourhood Plan 2018-2031 meets the legal tests and basic conditions.

The policies in the Exmouth Neighbourhood Plan 2018-2031 are aligned to various paragraphs of the NPPF.

The policies in the Exmouth Neighbourhood Plan 2018-2031 contribute towards delivering sustainable development.

The policies in the Exmouth Neighbourhood Plan 2018 - 2031 are in general conformity with the strategic policies of the East Devon Local Plan 2013-2031 covering the designated neighbourhood plan area.



The Exmouth Neighbourhood Plan 2018 - 2031 is fully compatible with EU Obligations.

